Wharton County Tax Sale Properties CAD MAPS

Due to the new mapping system, please refer to the Wharton County Central Appraisal District website for more information and to see each property on the map.

Below is the link that will direct you to the CAD website: https://whartoncad.net/maps

Exclude the letter R and the number 0 when inputting the account number in the search bar

If you have any questions, please call our office at 979-282-8089

Thank you, MVBA



McCreary Veselka Bragg & Allen P.C. Attorneys at Law

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0		la de la constante de la const	and the second	Marchener	n setterin officiality	May 14, 20
PROPERTY ID AND LEGAL DESCRIPTION			AXING UNITS	VALUES	N G S	2023	2024
29739 0 CR 227, HUNGERFORD A20026 ABST.26 TRACT 7B TYPE: TYPE: DBA: GEO ID: 20026-000-072-00 PROP USE: MAP ID: Ref ID1: R029739 AS CODE: A20026 Ref ID2: SUBTYPE RES TIF:	HOLMES ARTHUR 3520365 %HOLMES ART 100.00% 502 LINCOLN ST WHARTON TX 77488	C S F E V J	GWH 10 SBO 10 RD1 10 ED1 10 WDCB 10 IRC 10	D.00 IMPROVEMENT 0.00 LAND MARKE 0.00 MARKET VAL 0.00 SPECIAL USE 0.00 APPRAISED V 0.00 HS VALUE LIM	T + UE = EXCL - 'ALUE = /IIT -	0 45,000 45,000 0 45,000 0	45,0 45,0 45,0
MKT AREA: 4A-BNBD SUB MKT: S10094 EFF SIZE: LEGAL ACREAGE: 1.0000 ac APPR VAL METHOD: cost-local	AGENT: EFF DATE: EXP DATE:	5	10	0.00 CIRCUIT BRK		0	
	EX DIVE.			NET APPRAIS	ED =	45,000	45,0
GENERAL TILITIES: ZONING: Appraiser Irene Kielin	REMARKS			SKETCH	e and a second second	and the second second	an a
DPOGRAPHY: LEVEL TAGS: 2023-Notice- 2023-09-22 DAD ACCESS: PAVED LAST APPR. DT: 2023-09-22 IST INSP COMP DT: EXT INSP. DT: EXT REASON: EASON NOTES:	2023 : 2022 POSTCARD MAILING RETURNED-NOT DELIVERABLE AS ADDRESSED;ALREADY INVALID SINCE 2020: FILE IN FOLDER 2021 : 2021 NOTICE OF VALUE RETURNED- FILED IN FOLDER- NEED CURRENT MAILING ADDR 2021 : 2020 TAX BILL WAS RETURNED TO TAX OFFICE AS INVALID ADDRESS- ACCT WAS MARKED INVALID - NEED CURRENT MAILING ADDRESS						
BUILDING PERMITS 3# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT	PICTURE						
INCOME APPROACH DATA IA: 0 UNITS: 0 IA: 0 RENT: 0							
INQUIRY / ARB PROTESTS							
SALES HISTORY	DEED HISTORY						
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK/F							
	IENT VALUATION		in energy als	IMPROVEMENT DETAIL		IMPROVEMENT F	EATURES
UNASSIGNED RES_1 N/A 0 0.00 1 0 0		00.00 100.00 1.00	/ALUE # 0 0	ADJ TYPE ADJ AM	T ADJ % DES	SC COD	E V
LAND VALUATION DESCRIPTION TYPE SOIL CLS TABLE SC HS METH NON-HS LAND NHS 0 4A-BNBD C1 No AC	1.0000 ac 45000.00 1.000 A	MKT VAL SEQ A 45,000	LAND ADJUST	MENTS ADJ AMT ADJ %			TION UNIT AG V 0.00
AS	S Code: 100.00% Market Area: 100.00%	45,000			NU	U	0.00

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Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-	0	and the second second second	e an	May 14 2024
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TAXING UNITS	VALUES	2023	May 14, 2024 2024
24279 1504 PROSPERITY, EL CAMPO	JOHNSON IRA B SR 3516636		0.00 IMPROVEMENTS	0	0
	%JOHNSON MACK J 100.00%		0.00 LAND MARKET	+ 41,625	41,625
SOUTHLAND BLOCK 13 LOT 7,8,9	10834 BRADFORDWAY DR		0.00 MARKET VALUE	= 41,625	41,625
TYPE: R DBA:	HOUSTON TX 77075		0.00 SPECIAL USE EXCL	- 0	0
Ref ID1: R024279 AS CODE: S11235 MAPSCO: C			0.00 APPRAISED VALUE 0.00 HS VALUE LIMIT	= 41,625	41,625
Ref ID2: SUBTYPE RES TIF:	AGENT:		0.00 CIRCUIT BRKR LIMIT	- 0 - 0	0
MKT AREA: El Campo 1 SUB MKT: EC-FS EFF SIZE: LEGAL ACREAGE: 0.5165 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATE:		0.00 NET APPRAISED	= 41,625	
				41,025	41,625
GENERAL UTILITIES: ZONING: Appraiser BC	REMARKS . 2010 : ALL IMPS GONE FOR 2010		SKETCH	和中的目的目标	Bearing States
TOPOGRAPHY: LEVEL TAGS: 2023-Notice- ROAD ACCESS: PAVED LAST APPR. DT: 2022-02-14 LAST INSP COMP DT: NEXT INSP. DT: NEXT REASON: REASON NOTES: BUILDING PERMITS B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT	PICTURE	_			
INCOME APPROACH DATA GBA: 0 UNITS: 0 NRA: 0 RENT: 0 INQUIRY / ARB PROTESTS SALES HISTORY DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	DEED HISTORY PPG INST # BUYER SELLER MENT VALUATION				
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL UNASSIGNED RES_1 N/A 0 0.00 1 0	T YR COND VALUE DEP PHYS ECON 0 0 0 100.00 100.00 le N (0.00%) 0 AS Code: 100.00% Marke	100.00 100.00 1.00 0	IMPROVEMENT DETAIL ADJ ADJ TYPE ADJ AMT ADJ 9	IMPROVEMENT FE	
LAND VALUATION L# DESCRIPTION TYPE SOIL CLS TABLE SC HS MET 1 NON-HS LAND NHS 1 EC-FS C1 No SF /					10N NIT AG VALUE 0.00 0 0

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Date Printed: May 14, 2024 08:51 Printed By: Amanda Hernandez

Tract2

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0				May 14, 202
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TAXING UNITS	3 VALUES	2023	2024
35094 6622 W FM 1161, SPANISH CAMP A20064 ABST.64 TRACT 86 1996 PALM HARBOR PALM HARBOR 28X66 LABEL # PFS0386091 SERIAL # PH171749A TYPE: R DB: GEO ID: 20064-000-366-00 PROP USE: MAP ID: 3A-2 Ref ID1: R035094 AS CODE: A20064 MAPSCO: 3A Ref ID2: SUBTYPE RES TIF: MKT AREA: R-NE SUB MKT: R-NE EFF SIZE: LEGAL ACREAGE: 0.6300 ac APPR VAL METHOD: cost-local	SMITH MALCOLM & BARBARA 3523316 ALLEN 100.00% %Anitra Sherman 6722 W FM 1161 Rd Wharton TX 77488-3751 AGENT: EFF DATE: EXP DATE:	GWH RD1 ED1 WDCB JRC SEL ED3	100.00 IMPROVEMENTS 100.00 LAND MARKET 100.00 MARKET VALUE 100.00 SPECIAL USE EXCL 100.00 APPRAISED VALUE 100.00 HS VALUE LIMIT 100.00 HS VALUE LIMIT 100.00 HS VALUE LIMIT 100.00 HS VALUE LIMIT 100.00 HS VALUE LIMIT	= 19,562 - 0	0 26,933 26,933 0 26,933 0 3,459 23,474
GENERAL JTILITIES: ZONING: Annexiser Xavier Memory	REMARKS		SKETCH		
AST INSP COMP DT: NEXT INSP. DT: NEXT REASON: REASON NOTES: BUILDING PERMITS B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT	ROOF ONONE END IS CAVED IN, MAY BE FIXED 2022: TAX DEFERRAL END DATE 01/01/2020 2022: 91/1721 MAILED CERT REQUEST/DENIAL/REMOVAL FOR EXEMPTION(S)				
INCOME APPROACH DATA BBA: 0 UNITS: 0					
IRA: 0 RENT: 0					
INQUIRY / ARB PROTESTS					
SALES HISTORY	DEED HISTORY				
		4			

	IMPROVEMENT VALUATION	and the second	IMPROVEME	ENT DETAIL ADJ	IMPROVE	MENT FEATURES
				NT DETAIL ADJ ADJ AMT ADJ %		MENT FEATURES CODE VALUE
L# DESCRIPTION TYPE SOIL CLS 1 HOMESITE LAND HS 0	LAND VALUATION TABLE SC HS METH DIM UNIT PRC ADJ MADJ VAL SRC 3A C1 Yes AC 0.6300 ac 42750.00 1.000 A AS Code: 100.00% Market Area: 100.00%	LAND AD. MKT VAL SEQ ADJ TYPE 26,933 26,933	JUSTMENTS ADJ AMT	ADJ % AG No	PRODUCTIVITY USE TABLE 0	VALUATION UNIT AG VALUE 0.00 0 0

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Page 3 of 3 Effective Date of Appraisal: January 1 Date Printed: May 14, 2024 08:51 Printed By: Amanda Hernandez



OWNER ID, NAME, AND ADDRESS OWNER ID / % ARMSTRONG ERIC 3706763 100.00% 6410 22nd Street Ct NE	EXEMPTIONS	GWH SBO	100.00 100.00	VALUES IMPROVEMENTS		May 14, 20 2024 662 50,778
100.00% 6410 22nd Street Ct NE		GWH	100.00	IMPROVEMENTS	48,0	and the second
100.00% 6410 22nd Street Ct NE						50,77
6410 22nd Street Ct NE				LAND MARKET	+ 14'	950 20,600
		RD1	100.00	MARKET VALUE	1000	612 71,378
Tacoma WA 98422-3712		ED1	100.00	SPECIAL USE EXCL	-	0 (
		WDCB	100.00	APPRAISED VALUE	= 63,0	612 71,378
		JRC	100.00	HS VALUE LIMIT		0 (
AGENT:		ED3	100.00	CIRCUIT BRKR LIMIT	-	0 (
EFF DATE: EXP DATE:				NET APPRAISED	= 63,6	612 71,378
DEMADKS						
2022 : ***Account copied from current appraisal year***				SKETCH	U. S. D. S. OS. S. D. S. O. S. O	WARDER ALTERNATION
2022 : COMBINE CLUB R53776 AND STG FROM R57294						
R53776 TO THIS ACCOUNT						
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	-					
EMENT VALUATION			IMPF	OVEMENT DETAIL ADJ	IMPROVE	MENT FEATURES
					% DESC	CODE VAL
		00,170				
			<u> </u>			
	MKT VAL SE				PRODUCTIVITY V	
1.0000 ac 20600.00 1.000 A		- ABVINE	ADS A			UNIT AG VAL 0.00
AS Code: 100.00% Market Area: 100.00%	20,600				5	0.00
	EFF DATE: EXP DATE: 2022: ***Account copied from current appraisal year*** 2022: COMBINE CLUB R53776 AND STG FROM R57294 HERE PER M&B 2022: SPLIT 1 A C FROM R57294- MOVE IMPR ONLY R53776 TO THIS ACCOUNT PICTURE T PICTURE MT DEED HISTORY K/PG INST # BUYER SELLER /// K/PG NST # BUYER SELLER // MO VALUE DEP PHYS KIT COND VALUE DEP PHYS KIT BUYER SELLER // MO 145,054 100.00 29.00% // MO 145,054 AS Code: 100.00% // Markel Markel Markel	EFF DATE: EXP DATE: 2022 : "*Account copied from current appraisal year"* 2022 : COMBINE CLUB RS3776 AND STG FROM RS7294 HERE FR MAB 2022 : SPLIT 1 AC FROM RS7294- MOVE IMPR ONLY RS3776 TO THIS ACCOUNT PICTURE VIT BUYER SELLER SELLER R550 R078866 EMENT VALUATION VALUE LIT YR VIT COND VALUATION VALUE LIT YR VIT COND VIT COND VIT VIT RS50 N078866 EMENT VALUATION VALUE VIT VIT VIT COND VIT COND	EFF DATE: EXP DATE: Image: state	EFF DATE: EXP DATE: 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** 2022: ***Account copied from current appraisal year*** RS3776 TO THIS ACCOUNT PICTURE VI SELLER 0 0 100:00 24.065 0 0 0 0 0 0 0 0 0 0 0 0 0 0	EFF DATE: EXP DATE: NET APPRAISED 2022: "*Account copies from current appraisal year" SKETCH 2022: **Account copies from current appraisal year" SKETCH 2022: ***Account copies from current appraisal year" SKETCH ************************************	EFF DATE: EXP DATE: NET APPRAISED = 63,6 2022 : "Mocontropted from current apprisat year"" SKETCH SKETCH SKETCH SKETCH 2022 : COMBINE DIR RADIE STOR FROM R7224 HERE FER MB 2022 : SPUT 1 AC FROM R5728-MOVE MIRE ONLY R53776 TO THIS ACCOUNT SKETCH SKETCH SKETCH T PICTURE Improvement permission of the state of the stat

Effective Date of Appraisal: January 1 Date Printed: May 14, 2024 08:54 Printed By: Amanda Hernandez

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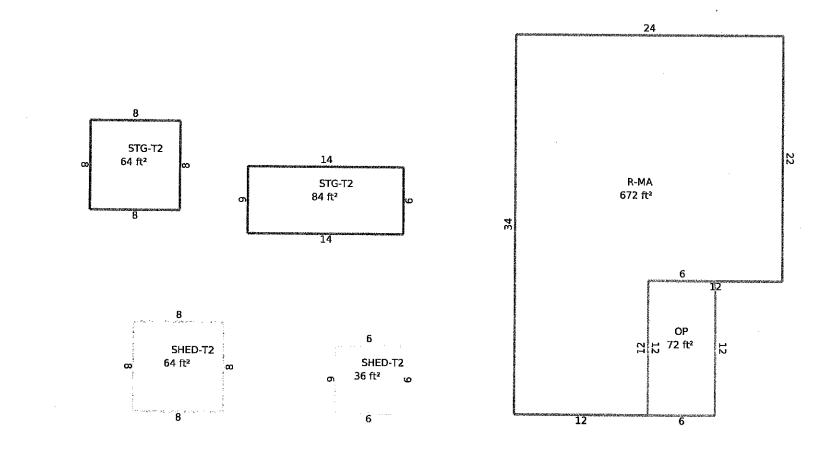
Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0	The and a second second		May 14, 20
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TAXING UNITS	VALUES	2023 2024
70131 0 CR 255,	WHITE ERNEST ETAL 3653165	GWH	100.00 IMPROVEMENTS	26,132 3,23
	%LEMONS LEROY 100.00%	RD1	100.00 LAND MARKET	+ 53,302 64,42
	520 LEE LANE	ED1	100.00 MARKET VALUE	= 79,434 67,65
A20035 ABST.35 TRACT 101	SUGAR LAND TX 77479	WDCB	100.00 SPECIAL USE EXCL	- 0
TYPE: R DBA: GEO ID: 20035-101-000-00 PROP USE: MAP ID: 2B-4	SUGAR LAND TX 11419	JRC	100.00 APPRAISED VALUE	= 79,434 67,65
GEO ID: 20035-101-000-00 PROP USE: MAP ID: 2B-4 Ref ID1: R070131 AS CODE: A20035 MAPSCO: 2B		SEL	100.00 HS VALUE LIMIT	- 0
Ref ID2: SUBTYPE RES TIF:	AGENT	ED3	100.00 CIRCUIT BRKR LIMIT	- 0
MKT AREA: R-NE SUB MKT: R-NE EFF SIZE:	AGENT: EFF DATE: EXP DATE:			
LEGAL ACREAGE: 3.0000 ac APPR VAL METHOD: cost-local	EFF DATE. EXP DATE.		NET APPRAISED	= 79,434 67,659
GENERAL	REMARKS		SKETCH	
TILITIES: ZONING: Appraiser Xavier Moreno	2019 : RETURNED MAIL. NO RETURN ADDRESS. COPY OF		SKETCH	
OPOGRAPHY: LEVEL TAGS: 2023-Notice- 2023-11-01 Legacy	ENVELOPE FILED IN FOLDER.			
OAD ACCESS: GRAVEL LAST APPR. DT: 2023-11-01	2019 : 2019 NOTICE RETURNED (NOT			
AST INSP COMP DT:	DELIVERABLE/VACANT/UNABLE TO FOWARD/REFUSED/NO MAIL RECEPTACLE) FILED IN		18	
EXT INSP. DT:	MEDIA ROOM			
EXT REASON:	2011 : NEW ACCT FOR 2011-JOINED R31430 & R31431			
EASON NOTES:	HERE PER LEROY LEMONS		11	CARL HER CONTROL OF
BUILDING PERMITS	PICTURE	1	and a second sec	
B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT		-	18	22
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		Land Land Land Land Land Land Land Land	894 ft ^a	
		2		
INCOME APPROACH DATA			15	2
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			- 0	P
INQUIRY / ARB PROTESTS			o 60 ft	° თ
			6 I I S	
				10
			4.1.4.4.1.	
SALES HISTORY	DEED HISTORY	1		
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	PG INST # BUYER SELLER		12	
INDOVE	MENT VALUATION			
TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL		FUNC COMP ADJ VALUE	IMPROVEMENT DETAIL ADJ # ADJ TYPE ADJ AMT ADJ	IMPROVEMENT FEATURES
R-MA RESIDENCE RES_1 FL1 894 22.12 1 0 194		100.00 100.00 1.00 10		ADESC CODE VA
OP OPEN PORCH RES_1 FL1 36 4.42 1 0 194		100.00 100.00 1.00 1		
OP OPEN PORCH RES_1 FL1 60 4.42 1 0 194		100.00 100.00 1.00 1		
1 RESIDENCE FV STCD: A1 990 Area: 894 Homesi	e N (0.00%) 20,199 AS Code: 100.00% Marke			
TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL	방법 수업 전 방법 방법 사업 사업 위험 이 것을 통해 주면 전 것을 가 주면 것을 것 같아.	FUNC COMP ADJ VALUE		
R-MA RESIDENCE RES_1 FL1 672 22.64 1 0 194		100.00 100.00 0.15 2,282		
OP OPEN PORCH RES_1 FL1 72 4.53 1 0 194		100.00 100.00 0.15 49		
		100.00 100.00 0.15 19		
		100.00 100.00 0.15 52		
OTO TO OT THUNG THOSE OFFICE		100.00 100.00 0.15 33		
	0 0 266 100.00 15.00% 100.00 e N (0.00%) 16,502 AS Code: 100.00% Marke			
The first	0.002 AS COUR. 100.00% Marke	t Area: 130.00% 3,218		
LAND VALUATION TYPE SOIL CLS TABLE SC HS MET			JUSTMENTS ADJ AMT ADJ % AG	PRODUCTIVITY VALUATION USE TABLE UNIT AG VA
NON-HS LAND NHS 0 2B A1 No AC	3.0000 ac 21475.00 1.000 A	the second se	ADJAMIT ADJ% AG No	0 0.00
	AS Code: 100.00% Market Area: 100.00%	64,425		0.00

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2024-FC-P-70131





2024-FC-P-70131

ROPERTY ID AND LEGAL DESCRIPTION	PROPERTY FIELD REVIEW CARD 2024-0-				May 14, 20
	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TAXING UNIT	S VALUES	2023	2024
37422 2791 N MECHANIC, EL CAMPO	FLEITES LAZARA MIRANDA ETVIR 3524507	GWH	100.00 IMPROVEMENT	S 24,506	26,95
	ROBERTO G 100.00%	HD	100.00 LAND MARKET	+ 16,185	16,18
A20214 ABST.214 TRACT 17C-1		RD1	100.00 MARKET VALUE		43,14
TYPE: R DBA:	9967 CR 405 RD	ED1	100.00 SPECIAL USE E		
GEO ID: 20214-000-064-00 PROP USE: MAP ID: C04	EL CAMPO TX 77437	WDCB	100.00 APPRAISED VAL		43,14
Ref ID1: R037422 AS CODE: A20214 MAPSCO: C Ref ID2: SUBTYPE RES TIF;	8	JRC	100.00 HS VALUE LIMIT		
MKT AREA: EC-N71 SUB MKT: EC-N71 EFF SIZE:	AGENT:	CEL	100.00 CIRCUIT BRKR I		
LEGAL ACREAGE: 0.5395 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATE:	ED4	100.00 NET APPRAISEI	D = 40,691	43,142
GENERAL	REMARKS		SKETCH		Telebert State
TILITIES: ZONING: Appraiser Irene Klein 2023-08-28	2021 : RETURNED MAIL- 2ND OA REMOVAL NOTICE FILE	>			
AGS: 2023-NDUCE-	IN FOLDER 2021 : 2020 TAX BILL WAS RETURNED TO TAX OFFICE AS			16	
OAD ACCESS: PAVED LAST APPR. DT: 2023-08-28	INVALID ADDRESS- ACCT WAS MARKED INVALID - NEED		18		
IST INSP COMP DT: EXT INSP. DT:	CURRENT MAILING ADDRESS	4			
EXT REASON:	2021 : 2ND NOTICE- OA REMOVAL SENT REGULAR MAIL 2021 : RETURNED MAIL- CERT HS/OA REMOVAL FOR	1 and and a		PR-F	
EASON NOTES:	2018 FOWARD FILED IN FOLDER			열 256 ft ² 분	
BUILDING PERMITS	PICTURE		015		
# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMME			GAR	_	
	ARCINE	2 ^{80 ft² 8 f}	504 ft²	R 12	
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				and the second se	
INCOME APPROACH DATA		10	CONTRACTOR OF A CONTRACTOR OFTA CONTRACTOR OFT	18	
BA: O UNITS: O		4			
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		SHED-T2	18	R MA 🛛	
INQUIRY / ARB PROTESTS		200 ft ² g			
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SALES HISTORY	DEED HISTORY				
	K/PG INST # BUYER SELLER	-			
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOC					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOC 2007-12-18 RESTYLE 726/		10		30	
		10		30	
이번 것이 잘 가슴 가슴 같은 것이 가슴 지난 것이 가슴 이 가슴 아파, 가슴이 많은 것이 가슴 물건이 가슴		10	H _{annan} neret teniare state oneret en	30	
2007-12-18 RESTYLE 726/	357 R037422	10			
2007-12-18 RESTYLE 726/	757 R037422 VEMENT VALUATION	FUNC COMP ADJ VALUE	IMPROVEMENT DETAIL / # ADJ TYPE ADJ AMT	ADJ IMPROVEMENT F	
2007-12-18 RESTYLE 726/ IMPROV TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BL R-MA RESIDENCE RES_1 FF1 576 58.54 1 0 1	757 R037422 76MENT VALUATION ILT YR COND VALUE DEP PHYS ECON 945 1954 33,719 100.00 25.00% 100.00		IMPROVEMENT DETAIL A # ADJ TYPE ADJ AMT	ADJ IMPROVEMENT F	
IMPROV TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BL R-MA RESIDENCE RES_1 FF1 576 58.54 1 0 1 GAR GARAGE RES_1 FF1 504 20.49 1 0	XEMENT VALUATION ILT YR COND VALUE DEP PHYS ECON 945 1954 33,719 100.00 25.00% 100.00 0 0 10,327 100.00 25.00% 100.00	FUNC COMP ADJ VALUE 100.00 100.00 0.25 8,430 100.00 100.00 0.25 2,582	the second s	ADJ IMPROVEMENT F	
Improving Improving TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BL R-MA RESIDENCE RES_1 FF1 576 58.54 1 0 1 GAR GARAGE RES_1 FF1 504 20.49 1 0 PR-F PATIO ROOF FAIR RES_1 FF1 256 5.11 1 0	XEMENT VALUATION ILT YR COND VALUE DEP PHYS ECON 945 1954 33,719 100.00 25.00% 100.00 0 0 10,327 100.00 25.00% 100.00 0 0 1,308 100.00 25.00% 100.00	FUNC COMP ADJ VALUE 100.00 100.00 0.25 8,430 100.00 100.00 0.25 2,582 100.00 100.00 0.25 327	the second s	ADJ IMPROVEMENT F	
Improving Improving TYPE DESCRIPTION MTHD CLASS AREA UN VIN TOTAL STY BL R-MA RESIDENCE RES_1 FF1 576 58.54 1 0 1 GAR GARAGE RES_1 FF1 504 20.49 1 0 PR-F PATIO ROOF FAIR RES_1 FF1 256 5.11 1 0 SHED- SH-TIN NO FLOOR RES_1 FF1 200 3.47 1 0	XEMENT VALUATION ILT YR COND VALUE DEP PHYS ECON 945 1954 33,719 100.00 25.00% 100.00 0 0 10,327 100.00 25.00% 100.00 0 0 1,308 100.00 25.00% 100.00 0 0 1,308 100.00 100.00 100.00 0 0 694 100.00 10.00% 100.00	FUNC COMP ADJ VALUE 100.00 100.00 0.25 8,430 100.00 100.00 0.25 2,582 100.00 100.00 0.25 327 100.00 100.00 0.10 69	the second s	ADJ IMPROVEMENT F	
IMPROV TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BL R-MA RESIDENCE RES_1 FF1 576 58.54 1 0 1 GAR GARAGE RES_1 FF1 504 20.49 1 0 PR-F PATIO ROOF FAIR RES_1 FF1 256 5.11 1 0 SHED- SH-TIN NO FLOOR RES_1 FF1 200 3.47 1 0	YEMENT VALUATION ILT YR COND VALUE DEP PHYS ECON 945 1954 33,719 100.00 25.00% 100.00 0 0 10,327 100.00 25.00% 100.00 0 0 1,308 100.00 25.00% 100.00 0 0 694 100.00 100.00% 100.00 0 0 278 100.00 100.00% 100.00	FUNC COMP ADJ VALUE 100.00 100.00 0.25 8,430 100.00 100.00 0.25 2,582 100.00 100.00 0.25 327	the second s	ADJ IMPROVEMENT F	
TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BL R-MA RESIDENCE RES_1 FF1 576 58.54 1 0 1 GAR GARAGE RES_1 FF1 504 20.49 0 0 PR-F PATIO ROOF FAIR RES_1 FF1 206 5.11 1 0 SHED- SH-TIN NO FLOOR RES_1 FF1 200 3.47 1 0 SHED- SH-TIN NO FLOOR RES_1 FF1 80 3.47 1 0 RESIDENTIAL STCD: A1 1,616 Area: 576 Home	XEMENT VALUATION ILT YR COND VALUE DEP PHYS ECON 945 1954 33,719 100.00 25.00% 100.00 0 0 10,327 100.00 25.00% 100.00 0 0 1,308 100.00 25.00% 100.00 0 0 1,308 100.00 25.00% 100.00 0 0 1308 100.00 100.00 100.00 0 0 694 100.00 100.00 100.00 0 0 278 100.00 100.00% Markutowick 0.00%) 46,326 AS Code: 100.00% Markutowick	FUNC COMP ADJ VALUE 100.00 100.00 0.25 8,430 100.00 100.00 0.25 2,582 100.00 100.00 0.25 327 100.00 100.00 0.10 69 100.00 100.00 0.10 28 abl Area: 110.00% 12,580	the second s	ADJ IMPROVEMENT F	
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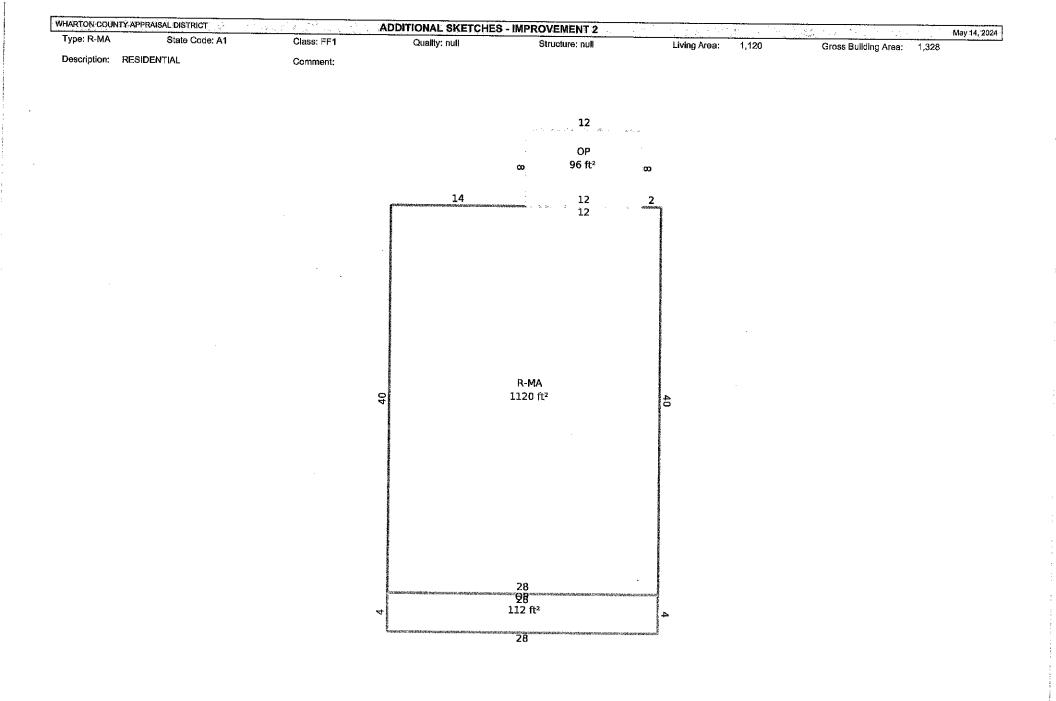
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Effective Date of Appraisal: January 1

Page 3 of 4

Date Printed: May 14, 2024 08:55 Printed By: Amanda Hernandez





2024-FC-P-37422

PROPERTY ID AND LEGAL DESCRIPTION	PROPERTY FIELD REVIEW CARD 2024-0-0							
ROPERTY ID AND LEGAL DESCRIPTION		EXEMPTIONS	TAXING UNITS		VALUES	20	23	May 14, 202 2024
11848 1607 GOODE, WHARTON	FELTON MAUDELLE EST 3506171			100.00	IMPROVEMENTS		27,135	28,179
	% FELTON CYNTHIA 100.00%		1. 1. 1. 1. 1. 1. 2. 1.	100.00	LAND MARKET	+	16,473	15,324
ELIZ.BRANCH LOT 29 1996 FLEETWOOD HOMES FESTIVAL LTD 14X56 LABEL #	1109 W MILAM			100.00	MARKET VALUE	=	43,608	43,503
RAD0890145 SERIAL # TXFLT12A75703FD11 TYPE: R DBA:	WHARTON TX 77488			100.00	SPECIAL USE EXCL	-	0	10,000
GEO ID: 10105-000-029-00 PROP USE: MAP ID: W01				100.00	APPRAISED VALUE	=	43,608	43,503
Ref ID1: R011848 AS CODE: S10105 MAPSCO: W				100.00	HS VALUE LIMIT	-	0	.0,000
Ref ID2: SUBTYPE RES TIF:	AGENT:			100.00	CIRCUIT BRKR LIMIT	r -	0	Ċ
MKT AREA: Wharton 2 SUB MKT: WH-SW EFF SIZE: LEGAL ACREAGE: 0.1759 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATE:		SWH	100.00	NET APPRAISED	=		
APPR VAL METHOD: COSHOCAI	En Drife.				NET APPRAISED	-	43,608	43,503
GENERAL	REMARKS	a Martin Art an Linguista	Sarring Carl	0001105	SKETCH		唐 438 唐444	a Bana ana ang
TILITIES: ZONING: Appraiser Irene Klein OPOGRAPHY: LEVEL TAGS: 2023 Nation 2023-11-03	2021 : RETURNED HS APP FOR 21 IS FILED IN FOLDER							
TAGS. 2023-Nolice-	2021 : HOMESTEAD APP MAILED 2/2021 2021 : PER COUNTY INDEX, MAUDELLE DECEASED							
CAD ACCESS: PAVED LAST APPR. DT: 2023-11-03	3/27/20. RESET EX FOR 21.							
AST INSP COMP DT:	2021 : IMPR/LAND ADJ FOR 2016 FLOODS							
EXT INSP. DT:	2020 : IMPR/LAND ADJ FOR 2016 FLOODS 2019 : IMPR/LAND ADJ FOR 2016 FLOODS							
EXT REASON: EASON NOTES:	2018 : RETURNED ORG LTR- DID NOT FLOOD							
BUILDING PERMITS								
BUILDING PERMIS B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMEN	PICTURE	generos de contrate de	****	H142012462304444444223	56	100000 (12000) 10000 10000 10000 10000	THIRD FROM THE CONTRACT OF CONTRACT.	10000040000000
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DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION LT YR COND VALUE DEP PHYS ECON	FUNC COMP ADJ	VALUE		OVEMENT DETAIL ADJ YPE ADJ AMT AD		PROVEMENT	
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75	20,580					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
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DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	CPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK IMPROVE TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL MH MOBILE HOME MH_1 MH-N 784 35.00 1 0 199 WD WOOD DECK MH_1 MH-N 32 12.20 1 0 199 I TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes	OPG INST # BUYER SELLER EMENT VALUATION EMENT VALUATION 100.00 75.00% 100.00 LT YR COND VALUE DEP PHYS ECON 96 1996 27,440 100.00 75.00% 100.00 97 1997 390 100.00 75.00% 100.00 97 1997 390 100.00 75.00% 100.00 97 100.00 27,830 AS Code: 100.00% Market	100.00 100.00 0.75 100.00 100.00 0.75	20,580 293 28,179	# ADJT	YPE ADJAMTAD	J % DESC	COD	E VA
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK IMPROVE TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL MH MOBILE HOME MH_1 MH-N 784 35.00 1 0 199 WD WOOD DECK MH_1 MH-N 32 12.20 1 0 199 I TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes I TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes	OPG INST # BUYER SELLER EMENT VALUATION EMENT VALUATION DEP PHYS ECON 127 YR COND VALUE DEP PHYS ECON 96 1996 27,440 100.00 75.00% 100.00 97 1997 390 100.00 75.00% 100.00 97 1997 390 100.00 75.00% Market 98 Y (100.00%) 27,830 AS Code: 100.00% Market	100.00 100.00 0.75 100.00 100.00 0.75 Area: 135.00%	20,580 293 28,179 LAND ADJ	# ADJT	YPE ADJ AMT AD S	J % DESC	COD	E VA
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL MH MOBILE HOME MH_1 MH-N 784 35.00 1 0 199 WD WOOD DECK MH_1 MH-N 32 12.20 1 0 199 TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes 	OPG INST # BUYER SELLER EMENT VALUATION	100.00 100.00 0.75 100.00 100.00 0.75 Area: 135.00%	20,580 293 28,179	# ADJT	YPE ADJAMTAD S MT ADJ% AG	J % DESC	COD STIVITY VALUA ABLE	E VAI
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUII MH MOBILE HOME MH_1 MH-N 784 35.00 1 0 199 WD WOOD DECK MH_1 MH-N 32 12.20 1 0 199 TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes	OPG INST # BUYER SELLER EMENT VALUATION Image: Seller Image: Seller Image: Seller LT YR COND VALUE DEP PHYS ECON 36 1996 27,440 100.00 75.00% 100.00 100.00 37 1997 390 100.00 75.00% 100.00 100.00 Ite Y (100.00%) 27,830 AS Code: 100.00% Market N Mathematical Mathematical Mathematical Nature H DIM UNIT PRC ADJ MADJ VAL SRC	100.00 100.00 0.75 100.00 100.00 0.75 Area: 135.00% MKT VAL SEQ 15.324	20,580 293 28,179 LAND ADJ	# ADJT	YPE ADJ AMT AD S	J % DESC	COD	E VAI
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUII MH MOBILE HOME MH_1 MH-N 784 35.00 1 0 199 WD WOOD DECK MH_1 MH-N 32 12.20 1 0 199 TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes	OPG INST # BUYER SELLER EMENT VALUATION Image: Constraint of the second	100.00 100.00 0.75 100.00 100.00 0.75 Area: 135.00%	20,580 293 28,179 LAND ADJ	# ADJT	YPE ADJAMTAD S MT ADJ% AG	J % DESC	COD STIVITY VALUA ABLE	E VAI
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUII MH MOBILE HOME MH_1 MH-N 784 35.00 1 0 199 WD WOOD DECK MH_1 MH-N 32 12.20 1 0 199 TAN/BRN MOBILE HOME STCD: A2 816 Area: 784 Homes	OPG INST # BUYER SELLER EMENT VALUATION Image: Constraint of the second	100.00 100.00 0.75 100.00 100.00 0.75 Area: 135.00% MKT VAL SEQ 15.324	20,580 293 28,179 LAND ADJ	# ADJT	YPE ADJAMTAD S MT ADJ% AG	J % DESC	COD STIVITY VALUA ABLE	E VA

Tract7

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0			May 14, 20
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TAXING UNIT	TS VALUES	2023 2024
13657 812 MERCHANT, EL CAMPO	HAYNES LARRY D ETUX SHARON H 3533748 100.00%	GWH HD	100.00 IMPROVEMEN 100.00 LAND MARKET	
	100.00 //	RD1	100.00 MARKET VALU	
DUSON LOT 28A-2 TYPE: R DBA:	1069 LOOSE COW RD	ED1	100.00 SPECIAL USE I	
GEO ID: 10340-000-280-00 PROP USE: MAP ID: C14	GARWOOD TX 77442	WDCB	100.00 APPRAISED VA	
Ref ID1: R013657 AS CODE: S10340 MAPSCO: C Ref ID2: SUBTYPE RES TIF: TIF:		JRC CEL	100.00 HS VALUE LIM 100.00 CIRCUIT BRKR	
MKT AREA: El Campo 2 SUB MKT: EC-NE-C EFF SIZE:	AGENT: EFF DATE: EXP DATE:	SEL	400.00	
LEGAL ACREAGE: 0.1617 ac APPR VAL METHOD: cost-local	EFF DATE.	ED4	100.00 NET APPRAISE	ED = 21,370 21,73
GENERAL	REMARKS	Andrew Apple and the second second	SKETCH	
TILITIES: ZONING: Appraiser Irene Klein OPOGRAPHY: LEVEL TAGS: 2023-08-28	2023 : PHYS % FOR COND & NO METER 2022 : PHYS % FOR COND & NO METER			
OAD ACCESS: PAVED LAST APPR. DT: 2023-08-28	2021 : 2020 TAX BILL WAS RETURNED TO TAX OFFICE AS			
AST INSP COMP DT:	INVALID ADDRESS- ACCT WAS MARKED INVALID - NEED CURRENT MAILING ADDRESS		18	
EXT INSP. DT:	2021 : RETURNED MAIL-BAD ADDRESS FILED IN MEDIA			new
EXT REASON:	ROOM 2021 : PHYS % FOR COND & NO METER			
EASON NOTES:				
BUILDING PERMITS B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT	PICTURE			20
COMMENT			MANUAL CONTRACTOR	
			No. and No.	V
			R-MA	2
			6 800 ft ³	
INCOME APPROACH DATA			200 million of the second s	
BA: 0 UNITS: 0				example of the second se
RA: 0 RENT: 0			10000	22
INQUIRY / ARB PROTESTS				
			-14	
			0 ⁸⁴	a marte
SALES HISTORY	DEED HISTORY		un 70 ft**	'n
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	PG INST # BUYER SELLER		14	
	MENT VALUATION T YR COND VALUE DEP PHYS ECON		IMPROVEMENT DETAIL	
R-MA RESIDENCE RES_1 FL3 800 25.91 1 0 194		FUNC COMP ADJ VALUE 100.00 100.00 0.25 5,182	# ADJ TYPE ADJ AM	T ADJ % DESC CODE VA
OP OPEN PORCH RES_1 FL3 70 5.18 1 0 194		100.00 100.00 0.05 18		
		100.00 100.00 1.00 10		
1 RESIDENTIAL STCD: A1 870 Area: 800 Homesi	e N (0.00%) 21,091 AS Code: 100.00% Market	Area: 125.00% 6,513	3	
LAND VALUATION		LAND	ADJUSTMENTS	PRODUCTIVITY VALUATION
DESCRIPTION TYPE SOIL CLS TABLE SC HS MET	H DIM UNIT PRC ADJ MADJ VAL SRC	MKT VAL SEQ ADJ TYPE		AG USE TABLE UNIT AG VA
NON-HS LAND NHS 1 EC-NE-C A1 No SF	7045.00 sf 2.16 1.000 A		menera de cuertar en crouentar de 1993. An	No 0 0.00
,	AS Code: 100.00% Market Area: 100.00%	15,222		

Tract 8

Date Printed: May 14, 2024 08:55 Printed By: Amanda Hernandez

Page 2 of 4

Effective Date of Appraisal: January 1

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0					May 14, 2024
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TA	AXING UNITS	VALUES	2023	2024
52455 2212 VALLEY DR, BONUS PECAN VALLEY ACRES BLOCK 2A,14B LOT 36 TYPE: R GEO ID: 11040-002-050-00 PROP USE: MAP ID: 2B-11 Ref IDI: R052455 AS CODE: S11040 MKT AREA: S11040 LEGAL ACREAGE: 1.4700 ac APPR VAL METHOD: cost-local	MCDADE JERRY ETUX LINDA 3529692 100.00% 2208 VALLEY DR EAGLE LAKE TX 77434 AGENT: EFF DATE: EXP DATE: REMARKS 2023 : RECK 2019 FOR MH	F E V J S	GWH 100.00 RD1 100.00 ED1 100.00 WDCB 100.00 JRC 100.00 SEB 100.00 ED3 100.00	IMPROVEMENTS LAND MARKET MARKET VALUE SPECIAL USE EXCL APPRAISED VALUE HS VALUE LIMIT CIRCUIT BRKR LIMIT NET APPRAISED SKETCH	$\begin{array}{c} 0 \\ + 22,712 \\ = 22,712 \\ - 0 \\ = 22,712 \\ - 0 \\ - 0 \\ - 22,712 \end{array}$	0 31,568 31,568 0 31,568 0 4,314 27,254
2023-10-18 2023-10-18 ROAD ACCESS: PAVED LAST APPR. DT: 2023-10-18 AST INSP COMP DT:	2022 : RECK 2019 FOR MH 2021 : RECK 2019 FOR MH 2020 : RECK 2019 FOR MH 2019 : RECK 2019 FOR MH 2018 : RECK 2019 FOR MH 2018 : SPLIT OUT FROM R22007 PER TAXPAYER REQUEST					
BUILDING PERMITS B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT	PICTURE	4				
INCOME APPROACH DATA GBA: 0 UNITS: 0 NRA: 0 RENT: 0 INQUIRY / ARB PROTESTS SALES HISTORY DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK/	DEED HISTORY PG INST # BUYER SELLER					
IMPROVE	MENT VALUATION		IMPF	OVEMENT DETAIL ADJ	IMPROVEMENT F	EATURES
		100.00 100.00 1.00	VALUE # ADJ T 0 0	YPE ADJ AMT ADJ	% DESC COD	E VALI
LAND VALUATION L# DESCRIPTION TYPE SOIL CLS TABLE SC HS MET 1 NON-HS LAND NHS 0 2B A2 No AC	H DIM UNIT PRC ADJ MADJ VAL SR	C MKT VAL SEQ A 31,568	LAND ADJUSTMENT ADJ TYPE ADJ A		PRODUCTIVITY VALUA USE TABLE 0	UNIT AG VAL



Tract9

	PROPERTY FIELD REVIEW CARD 2024-0-0	是一個。這些是19月前最短期的比較的				May 14, 202
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS	TAXING UNITS	VALUES	2023	2024
52456 2208 PECAN VALLEY DR, BONUS	MCDADE JERRY ETUX LINDA 3529692	HS	GWH 100	.00 IMPROVEMENTS	32,485	37,007
	100.00%	OV65	RD1 100		+ 18,231	25,341
	2208 VALLEY DR		ED1 100		= 50,716	62,348
PECAN VALLEY ACRES BLOCK 2A,14B LOT 37	EAGLE LAKE TX 77434		WDCB 100		- 0	0
TYPE: R DBA: GEO ID: 11040-002-060-00 PROP USE: MAP ID: 2B-11	a consistente consistente de constante en constante en constante de la constante de		JRC 100		= 50,716	62,348
Ref ID1: R052456 AS CODE: S11040 MAPSCO: 2B			SEB 100	이야기 같은 것은 것은 것을 것을 것을 것 같아요. 것은 것을 것을 수 없는 것을 수 없는 것을 수 없는 것을 것을 수 없는 것을 것을 수 있는 것을 것을 수 있는 것을	- 6,237	13,421
Ref ID2: SUBTYPE RES TIF: MKT AREA: S11040 SUB MKT: S11040 EFF SIZE: 2.7700	AGENT:		ED3 100	.00 CIRCUIT BRKR LIMIT	- 0	0
LEGAL ACREAGE: 1.1800 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATE:			NET APPRAISED	= 44,479	48,927
GENERAL	REMARKS		ente della i a feladori della	SKETCH		
TILITIES: ZONING: Appraiser Xavier Moreno OPOGRAPHY: LEVEL TAGS: 2023-Notice- 2023-10-18 OAD ACCESS: PAVED LAST APPR. DT: 2023-10-18 AST INSP COMP DT: EXT INSP. DT: EXT INSP. DT:	2010 : ALLOW DP-2010-JE 2008 : SPLIT OUT FROM R22007 PER TAXPAYER REQUEST		8	40		
EASON NOTES:				an a	*******	
BUILDING PERMITS	PICTURE		Variation			4
B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT	T	1	EP			[®] OP
			9] 128 ft ³ 16			₁₀ 24 ft ² on
		1	Manufacture of the second seco			1 10 10 1
			Construction of the	R-MA		4
			B	1200 ft ²		30
INCOME APPROACH DATA	A CONTRACTOR AND A CONTRACTOR		8			-
BA: 0 UNITS: 0						
RA: 0 RENT: 0		8	Approximities			-
	and the second of the second sec	Lanney Getward	Cale Participation of			41000
INQUIRY / ARB PROTESTS		up 48 ft?	ית			
	and the second	Luna				
		В	Potentia	40		woodf
SALES HISTORY	DEED HISTORY					
		-				
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	K/PG INST # BUYER SELLER					
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOH						
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOI						
	KIPG INST# BUYER SELLER			IMPROVEMENT DETAIL ADJ	IMPROVEMEN	IT FEATURES
IMPROVI	K/PG INST # BUYER SELLER	FUNC COMP ADJ	VALUE #	IMPROVEMENT DETAIL ADJ ADJ TYPE ADJ AMT AD.	IMPROVEMEN J % DESC CC	IT FEATURES DDE VAL
IMPROV # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19	KIPG INST # BUYER SELLER EMENT VALUATION ILT YR COND VALUE DEP PHYS ECON 145 1939 67,512 100.00 45.00% 100.00	100.00 100.00 0.45	30,380			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19	K/PG INST # BUYER SELLER EMENT VALUATION IDEP PHYS ECON ILT YR COND VALUE DEP PHYS ECON 145 1939 67,512 100.00 45.00% 100.00 145 1939 3,601 100.00 45.00% 100.00	100.00 100.00 0.45 100.00 100.00 0.45	30,380 1,620			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 24 11.25 1 0	K/PG INST # BUYER SELLER EMENT VALUATION Image: Second state stat	100.00100.000.45100.00100.000.45100.00100.000.45	30,380 1,620 122			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 124 11.25 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28.13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11.25 1 0	K/PG INST # BUYER SELLER EMENT VALUATION Image: Second state stat	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28.13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11.25 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56,26 1 0 19 EP ENCLOSED RES_1 FF1 128 28,13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28,13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11,25 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56,26 1 0 19 EP ENCLOSED RES_1 FF1 128 28,13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28,13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11,25 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28.13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11.25 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28.13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11.25 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 128 28.13 1 0 19 STG-L ST-FR OR VR - RES_1 FF1 24 11.25 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 124 21.125 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 124 11.25 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 124 11.25 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0	KIPG INST # BUYER SELLER EMENT VALUATION	100.00100.000.45100.00100.000.45100.00100.000.45100.00100.000.20	30,380 1,620 122 58			
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 24 11.25 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes	EMENT VALUATION DEP PHYS ECON ILT YR COND VALUE DEP PHYS ECON 145 1939 67,512 100.00 45.00% 100.00 0 0 270 100.00 45.00% 100.00 0 0 270 100.00 45.00% 100.00 0 0 292 100.00 20.00% 100.00 0 100.00% 71,675 AS Code: 100.00% Market	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 th Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD.	J % DESC CC	DDE VAL
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 1,200 56.26 1 0 19 OP OPEN PORCH RES_1 FF1 124 11.25 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes	KIPG INST # BUYER SELLER EMENT VALUATION III DEP PHYS ECON ILT YR COND VALUE DEP PHYS ECON 145 1939 67,512 100.00 45.00% 100.00 0 0 270 100.00 45.00% 100.00 0 0 292 100.00 200.00% 100.00 0 0 292 100.00 200.00% 100.00% site Y (100.00%) 71,675 AS Code: 100.00% Market DN IM UNIT PRC ADJ M ADJ VAL SR	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 at Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD, TMENTS ADJ AMT ADJ % AG	PRODUCTIVITY VAI USE TABLE	DDE VAL
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 PP ENCLOSED RES_1 FF1 1,200 56.26 1 0 19 OP OPEN PORCH RES_1 FF1 24 11.25 1 0 1 STG-L ST-FR OR VR- RES_1 FF1 64 4.57 1 0 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes	KIPG INST # BUYER SELLER EMENT VALUATION III TYR COND VALUE DEP PHYS ECON ILT YR COND VALUE DEP PHYS ECON I45 1939 67,512 100.00 45.00% 100.00 0 0 270 100.00 45.00% 100.00 0 0 292 100.00 20.00% 100.00 0 0 292 100.00 20.00% 100.00 site Y (100.00%) 71,675 AS Code: 100.00% Market DN MINIT PRC ADJ M ADJ VAL SR	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 th Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD.	PRODUCTIVITY VAI USE TABLE	DDE VAL
IMPROVI # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 24 11.25 1 0 1 STG-L ST-FR OR VR- RES_1 FF1 64 4.57 1 0 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes	K/PG INST # BUYER SELLER EMENT VALUATION Idea Idea <td>100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%</td> <td>30,380 1,620 122 58 37,007</td> <td>ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG</td> <td>PRODUCTIVITY VAI USE TABLE</td> <td>DDE VAL</td>	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG	PRODUCTIVITY VAI USE TABLE	DDE VAL
IMPROVI F TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 24 11.25 1 0 1 STG-L ST-FR OR VR- RES_1 FF1 64 4.57 1 0 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes	K/PG INST # BUYER SELLER EMENT VALUATION Idea Idea <td>100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%</td> <td>30,380 1,620 122 58 37,007</td> <td>ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG</td> <td>PRODUCTIVITY VAI USE TABLE</td> <td>DDE VAI</td>	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG	PRODUCTIVITY VAI USE TABLE	DDE VAI
IMPROVI F TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 EP ENCLOSED RES_1 FF1 128 28.13 1 0 19 OP OPEN PORCH RES_1 FF1 24 11.25 1 0 1 STG-L ST-FR OR VR- RES_1 FF1 64 4.57 1 0 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes 1 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes	K/PG INST # BUYER SELLER EMENT VALUATION Idea Idea <td>100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%</td> <td>30,380 1,620 122 58 37,007</td> <td>ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG</td> <td>PRODUCTIVITY VAI USE TABLE</td> <td>DDE VAI</td>	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG	PRODUCTIVITY VAI USE TABLE	DDE VAI
IMPROVI TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI R-MA RESIDENCE RES_1 FF1 1,200 56.26 1 0 19 DP OPEN PORCH RES_1 FF1 124 11.25 1 0 OP OPEN PORCH RES_1 FF1 24 11.25 1 0 STG-L ST-FR OR VR - RES_1 FF1 64 4.57 1 0 RESIDENTIAL STCD: A1 1,416 Area: 1,200 Homes DESCRIPTION TYPE SOIL CLS TABLE SC HS ME DESCRIPTION TYPE SOIL CLS TABLE SC HS ME	K/PG INST # BUYER SELLER EMENT VALUATION Idea Idea <td>100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%</td> <td>30,380 1,620 122 58 37,007</td> <td>ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG</td> <td>PRODUCTIVITY VAI USE TABLE</td> <td>DDE VAI</td>	100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.45 100.00 100.00 0.20 et Area: 115.00%	30,380 1,620 122 58 37,007	ADJ TYPE ADJ AMT AD. TMENTS ADJ AMT ADJ % AG	PRODUCTIVITY VAI USE TABLE	DDE VAI

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Date Printed: May 14, 2024 10:28 Printed By: Amanda Hernandez



Tract9

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0	D	建立运行的 中央部门	1996年19月1日日	制度的影响和自然	May 14, 2024
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS	TAXING UNITS	VALUES	2023	2024
53146 0 S CR 267, BONUS	MCDADE JERRY ETUX LINDA 3529692		GWH 100.00 RD1 100.00	IMPROVEMENTS	0 + 1.854	0 2,577
	100.00% 2208 VALLEY DR		RD1 100.00 ED1 100.00	LAND MARKET MARKET VALUE	+ 1,854 = 1,854	2,577
PECAN VALLEY ACRES BLOCK 2A,14B LOT 40A TYPE: R DBA:	EAGLE LAKE TX 77434		WDCB 100.00	SPECIAL USE EXCL	- 0	0
GEO ID: 11040-002-072-00 PROP USE: MAP ID: 2B-11			JRC 100.00	APPRAISED VALUE	= 1,854	2,577
Ref ID1: R053146 AS CODE: \$11040 MAPSCO: 2B Ref ID2: SUBTYPE RES TIF;			SEB 100.00 ED3 100.00	HS VALUE LIMIT CIRCUIT BRKR LIMIT	- 0 - 0	0 352
MKT AREA: \$11040 SUB MKT: \$11040 EFF SIZE: 2.7700	AGENT: EFF DATE: EXP DATE:		200 100.00	NET APPRAISED	11-2	
LEGAL ACREAGE: 0.1200 ac APPR VAL METHOD: cost-local					= 1,854	2,225
GENERAL UTILITIES: ZONING: Appraiser Xavier Moreno	REMARKS 2008 : SPLIT FROM R52457	and the plane is prevented		SKETCH		- Mangalage
TOPOGRAPHY: LEVEL TAGS: 2023-Notice- ROAD ACCESS: PAVED LAST APPR. DT: 2023-10-18 LAST INSP. COMP DT: NEXT INSP. DT: NEXT REASON: REASON NOTES: BUILDING PERMITS	PICTURE	_				
B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMEN						
	and the second					
INCOME APPROACH DATA	H B THERE A LEAD					
GBA: 0 UNITS: 0	aller a second and a					
NRA: 0 RENT: 0						
INQUIRY / ARB PROTESTS						
SALES HISTORY	DEED HISTORY	-				
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOO	K/PG INST # BUYER SELLER	1				
	EMENT VALUATION	and the state of the		ROVEMENT DETAIL ADJ	IMPROVEMENT FI	EATURES
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BU UNASSIGNED RES_1 N/A 0 0.00 1 0	ILT YR COND VALUE DEP PHYS ECON 0 0 0 100.00 100.00 100.00		Care For Creation Street Care 10 10 1000 00 1010000	TYPE ADJ AMT ADJ	% DESC CODE	VALU
	site N (0.00%) 0 AS Code: 100.00 Marke		0			
94 C						
2						
LAND VALUATIO	N	the second second	LAND ADJUSTMEN	rs	PRODUCTIVITY VALUAT	TION
L# DESCRIPTION TYPE SOIL CLS TABLE SC HS ME	TH DIM UNIT PRC ADJ M ADJ VAL SRO		EQ ADJ TYPE ADJ	AMT ADJ % AG	USE TABLE L	JNIT AG VALU
	0.1200 ac 21475.00 1.000 // AS Code: 100.00% Market Area: 100.00%	A 2,577 2,577		No	0	0.00
		_,				

Page 2 of 2 Effective Date of Appraisal: January 1 Date Printed: May 14, 2024 10:28 Printed By: Amanda Hernandez

Tract 9

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0			May 14, 202
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / % EX	XEMPTIONS TAXING UNITS	VALUES 2023	2024
59453 6748 W FM 1161, SPANISH CAMP A20064 ABST.64 TRACT 82A TYPE: R DBA: SMITH VELDING & TRUCKING LLC GEO ID: 20064-000-358-20 PROP USE: MAP ID: 3A-2 Ref IDI: 3A-2 Ref IDI: R059453 AS CODE: A20064 MAPSCO: 3A Ref IDI: R059453 SUBTYPE COM TIF: MKT AREA: COMM SUB MKT: SG EFF SIZE: LEGAL ACREAGE: 1.0000 ac APPR VAL METHOD: cost-local TILITIES: ZONING: Appraiser D/0	Sherman Anitra Myers 3712887 100.00% 6722 FM 1161 West Wharton TX 77488 AGENT: EFF DATE: EXP DATE:	GWH 100.00 RD1 100.00 ED1 100.00 WDCB 100.00 JRC 100.00 SEL 100.00 ED3 100.00	IMPROVEMENTS 77,475 LAND MARKET + 27,000 MARKET VALUE = 104,475 SPECIAL USE EXCL - 0 APPRAISED VALUE = 104,475 HS VALUE LIMIT - null CIRCUIT BRKR LIMIT - null NET APPRAISED = 104,475	79,941 42,750 122,691 0 122,691 0 0 122,691
JTILITIES: ZONING: Appraiser D/D COPOGRAPHY: TAGS: 2023-Notice- 2021-01-13 ROAD ACCESS: LAST APPR. DT: 2021-01-13 AST INSP COMP DT:	2011 : SMITHS WELDING & TRUCKING 2008 : NEW ACCT FOR 2003-SPLIT FROM R35090 PICTURE		10	
INCOME APPROACH DATA 3BA: 0 UNITS: 0 NRA: 0 RENT: 0 INQUIRY / ARB PROTESTS		24 ۲۰۰۸۹ ۲۲ ۲۶ ۲۵۵۲	С-МА 2000 ft ²	50
SALES HISTORY DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOH 2020-09-01 0 N 0 0 SMITH SONNY W 2020-09-01 W 1185// 2019-09-30 S 1148// 2019-09-30 S 1148// 2022-09-27 Q 1342//	307 R059453 SMITH SONNY W KM 596 R059453	₽ 96 ft24 24	40	
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI C-MA Main Area COM_1 SG4A 2,000 31.39 1 0 20 C-MA Main Area COM_1 SG4A 2,000 31.39 1 0 20 C-MA Main Area COM_1 OF4L 288 59.77 1 0 20 CAY CANOPY COM_1 SG4A 96 7.85 1 0 20	07 2007 62,780 90.00 100.00 100.00 100 19 0 17,214 90.00 100.00 100.00 100	JNC COMP ADJ VALUE # AD. 0.00 100.00 0.90 56,502	PROVEMENT DETAIL ADJ IMPROVEMENT F TYPE ADJ AMT ADJ % DESC COD	



Tract 10

PROPERTY ID AND LEGAL DESCRIPTION	PROPERTY FIELD REVIEW CARD 2024-0-0				May 14, 202
	OWNER ID, NAME, AND ADDRESS OWNER ID / % EXEMPTIONS	TAXING UNITS	VALUES	2023	2024
28195 0 W FM 1161, A20004 ABST.4 TRACT 7 LOT 10 TYPE: DBA: GEO ID: 20004-004-100-00 PROP USE: MAP ID: 3D-7 Ref IDI: R028195 AS CODE: A20004 MAPSCO: 3D Ref IDI: R028195 SUBTYPE TIF: MKT ARA: R-NE SUBTYPE TIF: MKT ARA: R-NE SUB MKT: R-NE EFF SIZE: LEGAL ACREAGE: 12.1300 ac APPR VAL METHOD: cost-local CONING: Daug Konesheck 2024-02-23 Doug Konesheck 2024-02-23 Lagacy 2024-02-23 AST INSP COMP DT: LAST APPR. DT: 2024-02-23 AST INSP. DT: EXT INSP. DT: EXT INSP. DT: EXT INSP. DT: EXT REASON: EXT REASON:	MEYERS J F 3519567 %JACKSON OTIS 100.00% 6756 ROXBURY HOUSTON TX 77087 AGENT: EFF DATE: EXP DATE: 2020 : 2020 NOTICE OF VALUE RETURNED FILED IN FOLDER 2020 : CERT AG REMOVAL RETURNED UNCLAIMED. SCANNED AND FILED IN FOLDER. 2020 : CERT AG REMOVAL- NO EVIDENCE OF HAY CUT RECENTLY.	GWH 100.00 RD1 100.00 ED1 100.00 WDCB 100.00 JRC 100.00 ED3 100.00 SWH 100.00	SPECIAL USE EXCL APPRAISED VALUE HS VALUE LIMIT CIRCUIT BRKR LIMIT	0 + 177,159 = 177,159 - 0 = 177,159 - 0 - 0 = 177,159	0 197,416 197,416 0 197,416 0 0 197,416
EASON NOTES: BUILDING PERMITS	PICTURE				
INCOME APPROACH DATA BA: 0 UNITS: 0 RA: 0 RENT: 0 INQUIRY / ARB PROTESTS SALES HISTORY DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	DEED HISTORY CIPG INST # BUYER SELLER				
	EMENT VALUATION		ROVEMENT DETAIL ADJ	IMPROVEMENT F	
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUI UNASSIGNED RES_1 N/A 0 0.00 1 0 1 UNASSIGNED STCD: 0 Area: 0 Homes	LT YR COND VALUE DEP PHYS ECON FUNC COMF 0 0 0 100.00 100.00 100.00 100.00 100.00 site N (0.00%) 0 AS Code: 100.00% Market Area: 130.00	0 1.00 0	TYPE ADJ AMT ADJ %	DESC CODE	E VAL

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Date Printed: May 14, 2024 08:57 Printed By: Amanda Hernandez



Tract 11

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0		Ma	ay 14, 2024
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / % E	EXEMPTIONS TAXING UNITS	VALUES 2023 2	2024
35421 0 S HWY 60, LANE CITY A20071 ABST.71 TRACT 41 LOT 1D-1-1 TYPE: R DBA: GEO ID: 20071-410-141-10 PROP USE: MAP ID: 6C-6 Ref ID1: R035421 AS CODE: A20071 MAPSCO: 6C Ref ID1: R035421 SUBTYPE RES TIF: MKT AREA: R-SE SUB MKT: R-SE EFF SIZE: LEGAL ACREAGE: 2.8300 ac APPR VAL METHOD: cost-local	BRYANT JAKE & LOTTIE 3523528 %WHITE EDDIE 100.00% PO BOX 112 LANE CITY TX 77453 AGENT: EFF DATE: EXP DATE:	GWH 100.00 RD1 100.00 ED1 100.00 WDCB 100.00 JRC 100.00 ED3 100.00 SWH 100.00	IMPROVEMENTS 0 LAND MARKET + 86,505 MARKET VALUE = 86,505 SPECIAL USE EXCL - 0 APPRAISED VALUE = 86,505 HS VALUE LIMIT - 0 CIRCUIT BRKR LIMIT - 0 NET APPRAISED = 86,505	0 89,098 89,098 0 89,098 0 0 89,098
GENERAL	REMARKS	and the second second second second	SKETCH	a series
UTILITIES: ZONING: Appraiser BC TOPOGRAPHY: LEVEL TAGS: 2023-Notice- ROAD ACCESS: GRAVEL LAST APPR. DT: 2021-03-17 LAST INSP. COMP DT: NEXT INSP. DT: NEXT REASON: REASON NOTES: BUILDING PERMITS B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT GBA: 0 UNITS: 0 NRA: 0 RENT: 0 INQUIRY / ARB PROTESTS SALES HISTORY DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	PICTURE			
IMPROVE	MENT VALUATION	IMPE	OVEMENT DETAIL ADJ IMPROVEMENT FEATU	IRES
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL UNASSIGNED RES_1 N/A 0 0.00 1 0		UNC COMP ADJ VALUE # ADJ 1 00.00 100.00 1.00 0	YPE ADJ AMT ADJ % DESC CODE	VALL
LAND VALUATION	M	LAND ADJUSTMENT	S PRODUCTIVITY VALUATION	
L# DESCRIPTION TYPE SOIL CLS TABLE SC HS MET 1 NON-HS LAND NHS 1 6C C1 No AC	H DIM UNIT PRC ADJ M ADJ VAL SRC	MKT VAL SEQ ADJ TYPE ADJ A 89,098 89,098		AG VALU

Tract 12



PROPERTY ID AND LEGAL DESCRIPTION	PROPERTY FIELD REVIEW CARD 2024-0-0				May 14, 202
	OWNER ID, NAME, AND ADDRESS OWNER ID / % EXE	EMPTIONS TAXING UNITS	VALUES	2023	2024
GALLAHER LOT 13,14 TYPE: R DBA: GEO ID: 10450-000-110-00 PROP USE: MAP ID:: W08 Ref ID1: R015507 AS CODE: SUBTYPE COM TIF: MKT AREA: COMM SUB MKT: CHURCH LEGAL ACREAGE: 0.2722 ac APPR VAL METHOD: cost-local	WHARTON PRAISE TABERNACLE 3537143 INC 100.00% 5822 CR 169 WHARTON TX 77488 AGENT: EFF DATE: EXP DATE: REMARKS	GWH 100.00 RD1 100.00 ED1 100.00 WDCB 100.00 JRC 100.00 CWH 100.00 ED3 100.00 SWH 100.00	IMPROVEMENTS LAND MARKET MARKET VALUE SPECIAL USE EXCL APPRAISED VALUE HS VALUE LIMIT CIRCUIT BRKR LIMIT NET APPRAISED SKETCH	52,712 + 11,857 = 64,569 - 0 = 64,569 - 0 - 0 = 64,569	52,712 11,857 64,569 0 64,569 0 0 64,569
	2020 : CERT REMOVAL FOR 2019 & 2020. SCANNED TO MEDIA.		78		
AST INSP. DT: NEXT INSP. DT:	2020: HAS NOT BEEN USED, NO PROGRESS ON REPAIRS, UNINHABITABLE PER CITY -LIST STATE EXEMPT STATUS 2009-POSSIBLE FRAUD APPLICATION? 2018 : INSPECTED DUE TO 8/26/2017 FLOOD 2015 : CONFIRM IF STILL VACANT? WHY EXEMPT IF NOT USING? CONFIRM USE AND EXEMPT STATUS PICTURE				
INCOME APPROACH DATA BA: 0 UNITS: 0 RA: 0 RENT: 0	=	58	С-МА 6552 R ³	84	
INQUIRY / ARB PROTESTS SALES HISTORY DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK/PI 900-01-01 0 N 0 0 WHARTON PRAISE 2008-11-26 AC 765/303	DEED HISTORY G INST # BUYER SELLER R015507 WHARTON BALDWIN		CAY 78 156 ft ²	2	
		"Vedetate anterent for a da a da la de la da	78 78		
IMPROVEME			78 78 PROVEMENT DETAIL ADJ	IMPROVEMENT F	EATURES
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUILT C-MA Main Area COM_1 OF2L 6,552 69,60 0 0 0 CAY CANOPY COM_1 OF2L 1,566 17.40 0 0 0 CONC CONC COM_1 OF2L 1,288 4,56 0 0 DR-C DRIVEWAY COM_1 OF2L 2,160 6.76 0 0	VALUATION VALUE DEP PHYS ECON FUI 0 456,019 100.00 100.00% 100.00 100.00 0 2,714 100.00 100.00% 100.00 100.00 0 5,873 100.00 100.00% 100.00 100.00	NC COMP ADJ VALUE # ADJ .00 100.00 0.10 45,602 .00 100.00 0.10 271 .00 100.00 0.10 587 .00 100.00 1,460	70 78		



Tract 13

Wharton Central Appraisal District	PROPERTY FIELD REVIEW CARD 2024-0-0		Philipping and a state of the			May 14, 2024
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS OWNER ID / %	EXEMPTIONS TAXING UNITS	VAL	UES	2023	2024
26275 411 DAVIS, WHARTON	OLMEDO JORGE A & CUEVAS 3518284 CLAUDIA E 100.00%	HS GWH RD1		PROVEMENTS	79,853 + 19,136	83,324 19,136
		ED1		RKET VALUE	= 98,989	102,460
WHARTON BLOCK 24 LOT 18 TYPE: R DBA:	411 DAVIS WHARTON TX 77488	WDCB		ECIAL USE EXCL	- 0	0
GEO ID; 11445-024-180-00 PROP USE: MAP ID: W09 Ref ID1: R026275 AS CODE: \$11445 MAPSCO: W	WHARTON IX //488	JRC CWH		PRAISED VALUE VALUE LIMIT	= 98,989 - 8,544	102,460 2,971
Ref ID2: SUBTYPE RES TIF:	AGENT:	ED3	Strategica and Activity	CUIT BRKR LIMIT	- 0	2,571
MKT AREA: Wharton 6 SUB MKT: WH-SC EFF SIZE: LEGAL ACREAGE: 0.1952 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATE:	SWH	100.00 NE	T APPRAISED	= 90,445	99,489
GENERAL	REMARKS	an a		KETCH	and the second second	Room and Park
JTILITIES: ZONING: Appraiser Imme Klein OPOGRAPHY: LEVEL TAGS: 2023-09-12 2023-09-12 ROAD ACCESS: PAVED LAST APPR. DT: 2023-09-12 2023-09-12 AST INSP COMP DT: LAST APPR. DT: 2023-09-12 2023-09-12 IEXT INSP. DT: LAST APPR. DT: 2023-09-12 IEXT INSP. DT: LAST APPR. DT: 2023-09-12 IEXT INSP. DT: LAST APPR. DT: 2023-09-12 IEXT INSP. DT: 2023-09-12 2023-09-12	2021 : NEW ROOF IN 2015 2020 : NEW ROOF IN 2015 2019 : NEW ROOF IN 2015 2018 : NEW ROOF IN 2015 2017 : NEW ROOF IN 2015 2016 : NEW ROOF IN 2015		22	13		
BUILDING PERMITS	PICTURE					
B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT 1 2015-05-05 1500240 RES YES 5,000 JOSE REMOVE AND			12 R-MA	3		
			1574 ft ³	CP-L		
INCOME APPROACH DATA BA: 0 UNITS: 0				5 280 ft ²	20	
IRA: 0 RENT: 0	A CONTRACTOR OF THE OWNER OWNER OF THE OWNER OWNE		4	6		
INQUIRY / ARB PROTESTS				14		
SALES HISTORY			OL1			
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK/	DEED HISTORY PG INST # BUYER SELLER		Lan Marine	200		
2006-10-20 8 N 5 40,000 OLMEDO, JORGE A 2006-10-20 RESTYLE 674/68:			11			
	MENT VALUATION			IENT DETAIL ADJ	IMPROVEMENT	
# TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL R-MA RESIDENCE RES_1 FF2 1,574 70.20 1 0 194		FUNC COMP ADJ VALUE 100.00 100.00 0.62 68,507	# ADJ TYPE	ADJ AMT ADJ	% DESC COD	E VALU
OP OPEN PORCH RES_1 FF2 66 14.04 1 0 194 CP-L CARPORT - LOW RES_1 FF2 280 3.62 1 0	0 1958 927 100.00 62.00% 100.00	100.00 100.00 0.62 575 100.00 100.00 0.35 355				
LAND VALUATION L# DESCRIPTION TYPE SOIL CLS TABLE SC HS METI			DJUSTMENTS ADJ AMT	ADJ % AG	PRODUCTIVITY VALU, USE TABLE	ATION UNIT AG VALU
1 HOMESITE LAND HS 1 WH-SC A1 Yes SF	8505.00 sf 2.25 1.000 A AS Code: 100.00% Market Area: 100.00%		ABU AWI	No	0	0.00 (
1 HOMESITE LAND HS 1 WH-SC A1 Yes SF	8505.00 sf 2.25 1.000 A	19,136	ADJ AMI	승규는 전 일관 것이 이 것 같아? 같아요.		

Tract 14

May 14, 202-
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Page 1 of 2 Effective Date of Appraisal: January 1 Date Printed: May 14, 2024 09:01 Printed By: Amanda Hernandez



Tract 15

Wharton Central Appraisal District	PROPERTY FIELD REVIEW O	CARD 2024-0-0	Destant Providence		and strained	1997 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 - 1996 -	and state of the second	May 14, 2024
PROPERTY ID AND LEGAL DESCRIPTION	OWNER ID, NAME, AND ADDRESS	OWNER ID / %	EXEMPTIONS	TAXING UNI	TS	VALUES	2023	2024
62003 0 CR 405, DANEVANG	BERNDT KENNETH WAYNE	3535736		GWH	100.00	IMPROVEMENTS	0	0
		100.00%		HD	100.00	LAND MARKET	+ 5,492	5,492
A20550 ABST.550 TRACT 4A-2	7414 BROKEN OAK LN			RD1	100.00	MARKET VALUE	= 5,492	5,492
TYPE: R DBA:	SUGAR LAND TX 77479			ED1	100.00	SPECIAL USE EXCL	- 0	0
GEO ID: 20550-000-009-40 PROP USE: MAP ID: 7C-1				WDCB	100.00	APPRAISED VALUE	= 5,492	5,492
Ref ID1: R062003 AS CODE: A20550 MAPSCO: 7C Ref ID2: SUBTYPE RES TIF:				JRC	100.00	HS VALUE LIMIT	- 0	0
MKT AREA: R-SW SUB MKT: R-SW EFF SIZE:	AGENT:	25.		SEL ED4	100.00	CIRCUIT BRKR LIMIT	- 0	0
LEGAL ACREAGE: 0.3980 ac APPR VAL METHOD: cost-local	EFF DATE: EXP DATI	E:		ED4	100.00	NET APPRAISED	= 5,492	5,492
GENERAL	REMARKS	PALL CONTRACTOR	Colden and the second by	orte gale a de la	entral anta	SKETCH		
UTILITIES: ZONING: Appraiser Bryan Mann 2022-09-07	2018 : GROWN UP THICK BRUSH							
TAGS: 2023-Notice-	2017 : GROWN UP THICK BRUSH 2016 : GROWN UP THICK BRUSH							
ROAD ACCESS: PAVED LAST APPR. DT: 2022-09-07	2015 : GROWN UP THICK BRUSH							
LAST INSP COMP DT:	2014 : GROWN UP THICK BRUSH							
NEXT INSP. DT:	2013 : GROWN UP THICK BRUSH 2012 : GROWN UP THICK BRUSH							
NEXT REASON:	2011 : GROWN UP THICK BRUSH							
REASON NOTES: BUILDING PERMITS	PICTURE	eperte in character and	-					
B# ISSUE DT PERM # TYPE ACTIVE EST VAL APPR BUILDER COMMENT		- ALL LOCAL CHARGE STR	-					
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	and the second second second							
	No. of Concession, Name							
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NRA: 0 RENT: 0		A Start at						
CONSTRUCT NO CONSIGNMENTS (2017)								
INQUIRY / ARB PROTESTS		a start						
SALES HISTORY	DEED HISTORY	월급 : 동물 가가 바다						
DATE TYPE QUAL SRC PRICE BUYER DATE TYPE BOOK	IPG INST# BUYER	SELLER						
			1					
IMPROVE # TYPE DESCRIPTION MTHD CLASS AREA UN PRC UNITS STY BUIL	MENT VALUATION T YR COND VALUE DEP	PHYS ECON	FUNC COMP AL	J VALUE		ROVEMENT DETAIL ADJ	IMPROVEMENT	
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L# DESCRIPTION TYPE SOIL CLS TABLE SC HS MET	H DIM UNIT PRC ADJ	MADJ VAL SRO		SEQ ADJ TYPE				UNIT AG VALUI
	0.3980 ac 13800.00 1.000	Α				No		0.00 0
	AS Code: 100.00% Market Area: 1	00.00%	5,492			4447448		0



Tract 14